



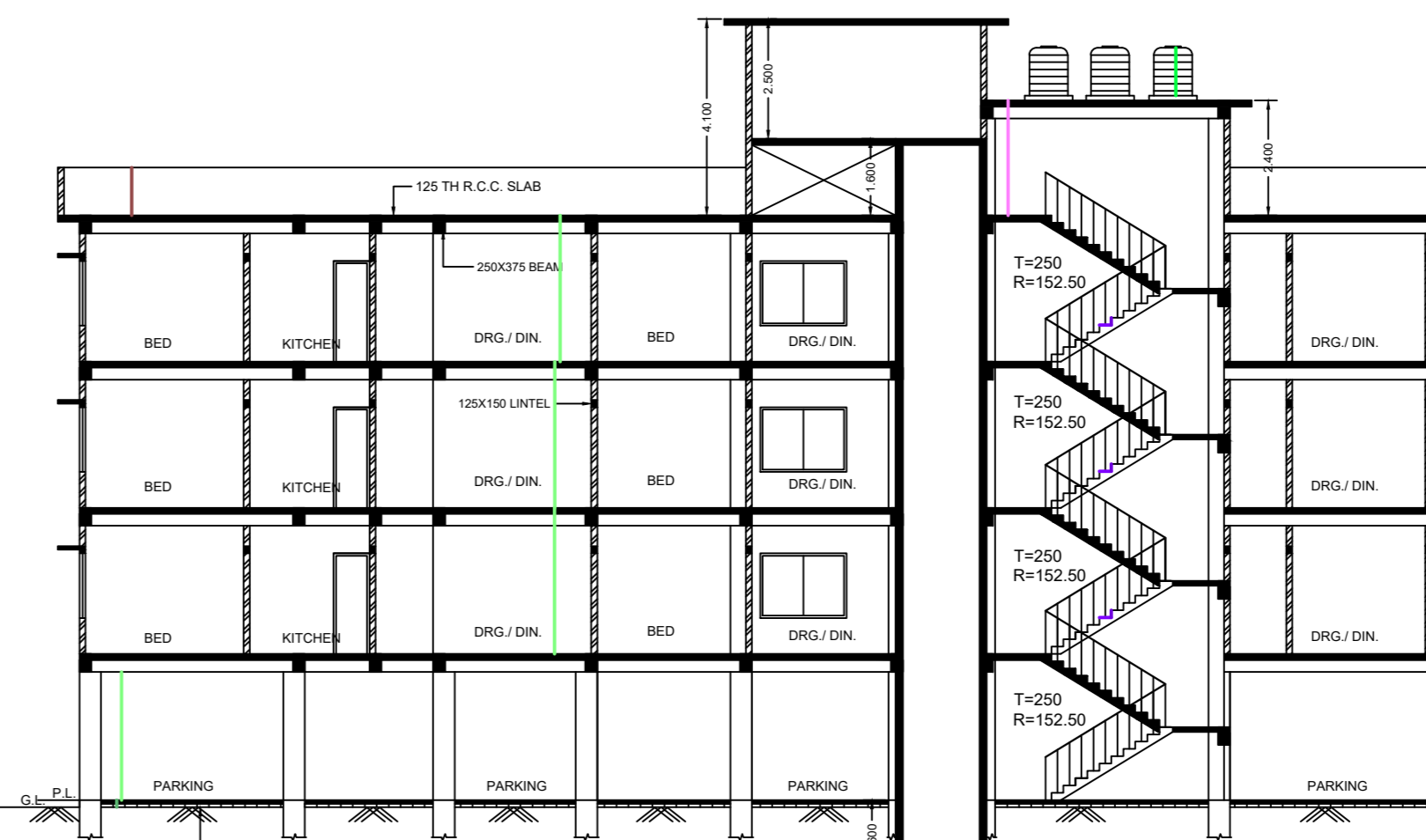
FRONT ELEVATION  
SCALE - 1:100



BACK SIDE ELEVATION  
SCALE - 1:100



SECTION - 'XX'  
SCALE - 1:100



SECTION - 'YY'  
SCALE - 1:100

**SPECIFICATION**

01. SOLING 75 THICK WITH FIRST CLASS BRICK.
02. R.C.C. 1:1.5:3 CEMENT CONCRETE.
03. P.C.C. 1:3:6 CEMENT CONCRETE.
04. D.P.C. 1:2:4 CEMENT CONCRETE.
05. STEEL Fe-500 GRADE.
06. MARBLE FLOORING IN ALL ROOMS.
07. MARBLE IN TOILET AND KITCHEN.
08. BRICK WALL 125 THICK AND 250 THICK WITH 1:4 MORTAR.
09. FRAME SIZE FOR DOORS/WINDOWS 100 X 75 mm.
10. FRAME SIZE FOR DOORS/WINDOWS 100 X 75 mm.
11. PLASTIC PAINTS IN INTERIORS.
12. CEMENT PAINTS IN EXTERIORS.
13. SYNTHETIC ENAMEL IN DOOR/WINDOWS.
14. DIMENSIONS ARE IN MM.
15. APPROVED L.I.C.C. NO. - 6244, DATED 22- JUN - 2021
16. GRADE OF CONCRETE - M20
17. LAT. 26.72451, LONG. 88.419416

**SCHEDULE OF OPENING**

D	= 1050 X 2100	W	= 1600 X 1350
D1	= 900 X 2100	W1	= 1500 X 1350
D2	= 750 X 2100	W3	= 1200 X 1350
C.G.	= 1200 X 2100		= 600 X 750

**SCHEDULE OF LAND**

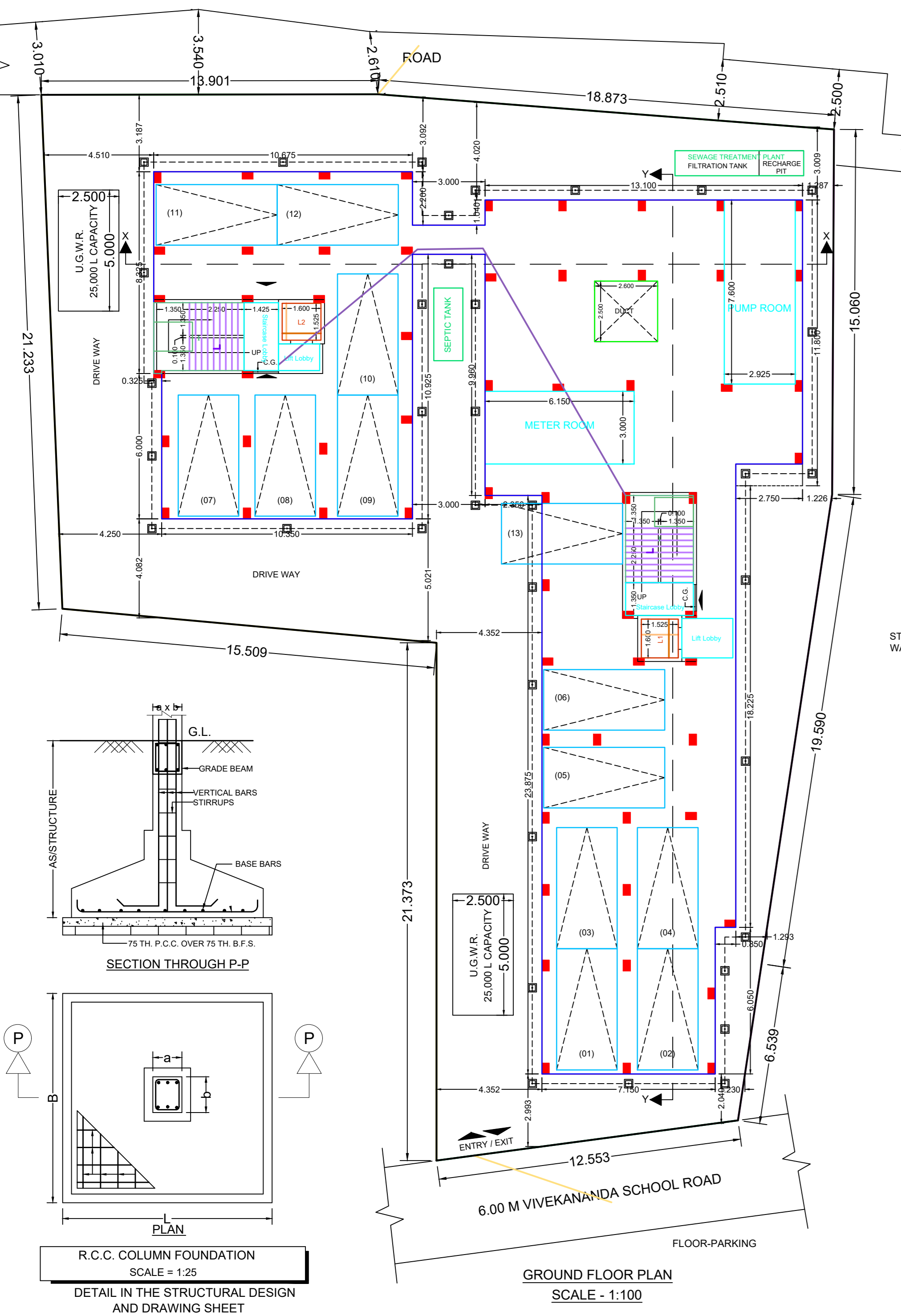
MOLZA	= SILIGURI	PLOT NO.	= R. S. 581 582
J.L. NO.	= 110(88)	P. S.	= LR-4227 4028, 4029, 4030
TOWN NO.	= 2 (L4)	DISTRICT	= PRADHAN NAGAR
SHEET NO.	= R. S. 582 583	WARD NO.	= 3 (S.M.C.)
KHATMA NO.	= LR-552 7542	HOLDING NO.	= 31,100(8)13, 2654(8)B, 2664(8)A
	= 7543		

**AREA STATEMENT**

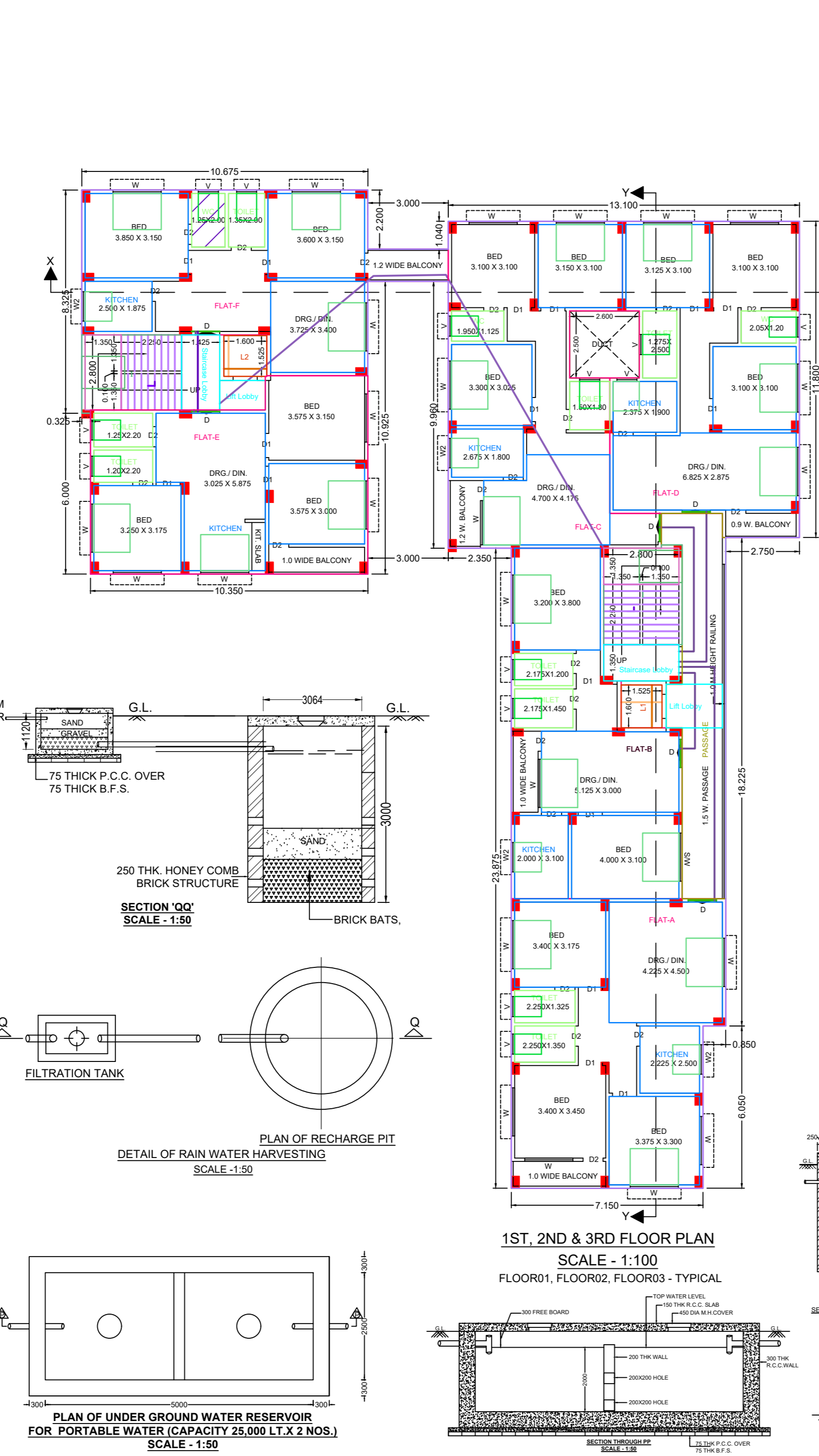
LAND AREA AS PER DEED = 986.62 SQ. M.  
LAND AREA AS PER SITE = 986.61 SQ. M.

**AREA STATEMENT SUMMARY**

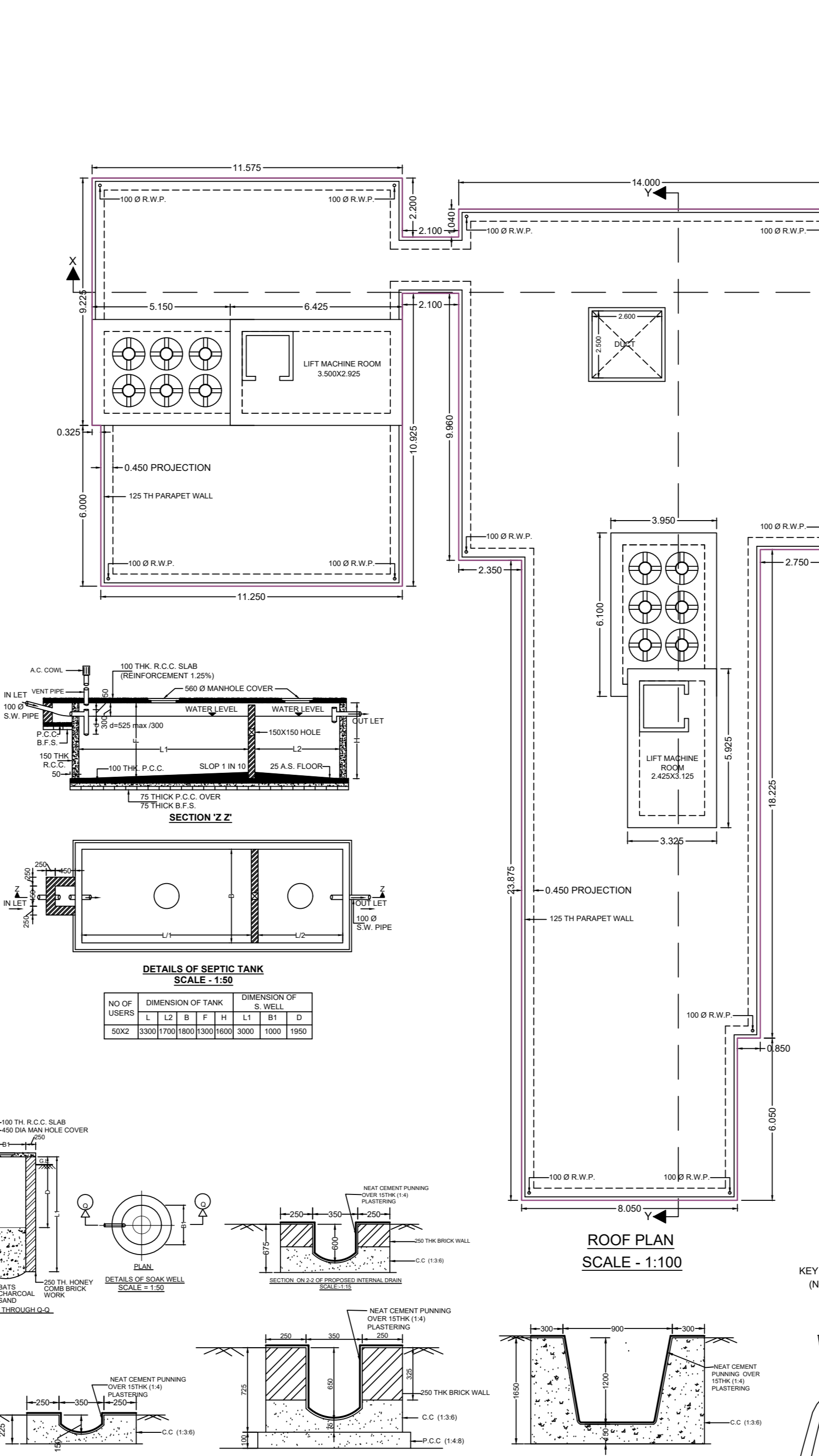
RULE NO.	PARAMETER	PERMISSIBLE / REQUIRED	PROPOSED
400(3)	ROAD WIDTH (RIGHT)	2.40 M	6.00 M
400(1)	RESIDUAL HEIGHT	30.75 M	12.75 M
48(A)	FAR	2.00	1.32
DEV(U)VI	COVERAGE COV.(IN %)	50%	98.61 SQ. M.
	MINIMUM WIDTH OF PLOT	N/A	12.25 M
	TOTAL BUILDUP AREA	N/A	1584.12 SQ. M.
	FLOOR AREA FOR FAR	1873.22 SQ. M.	1501.15 SQ. M.
	COVERED AREA	455.31 SQ. M.	655.80 SQ. M.
	NO. OF TENEMENTS	11 NOS.	11 NOS.
502(1)	NO. OF CAR PARKING	11 NOS.	11 NOS.
502(1)	CAR PARKING HEIGHT	2.25 M	2.25 M
72	PARKING WALL HEIGHT	1.50 M	1.50 M
57 (1)	PERCENT HEIGHT (PARKING)	0.75 M	0.75 M
	TOTAL RESIDENTIAL AREA		1584.12 SQ. M.



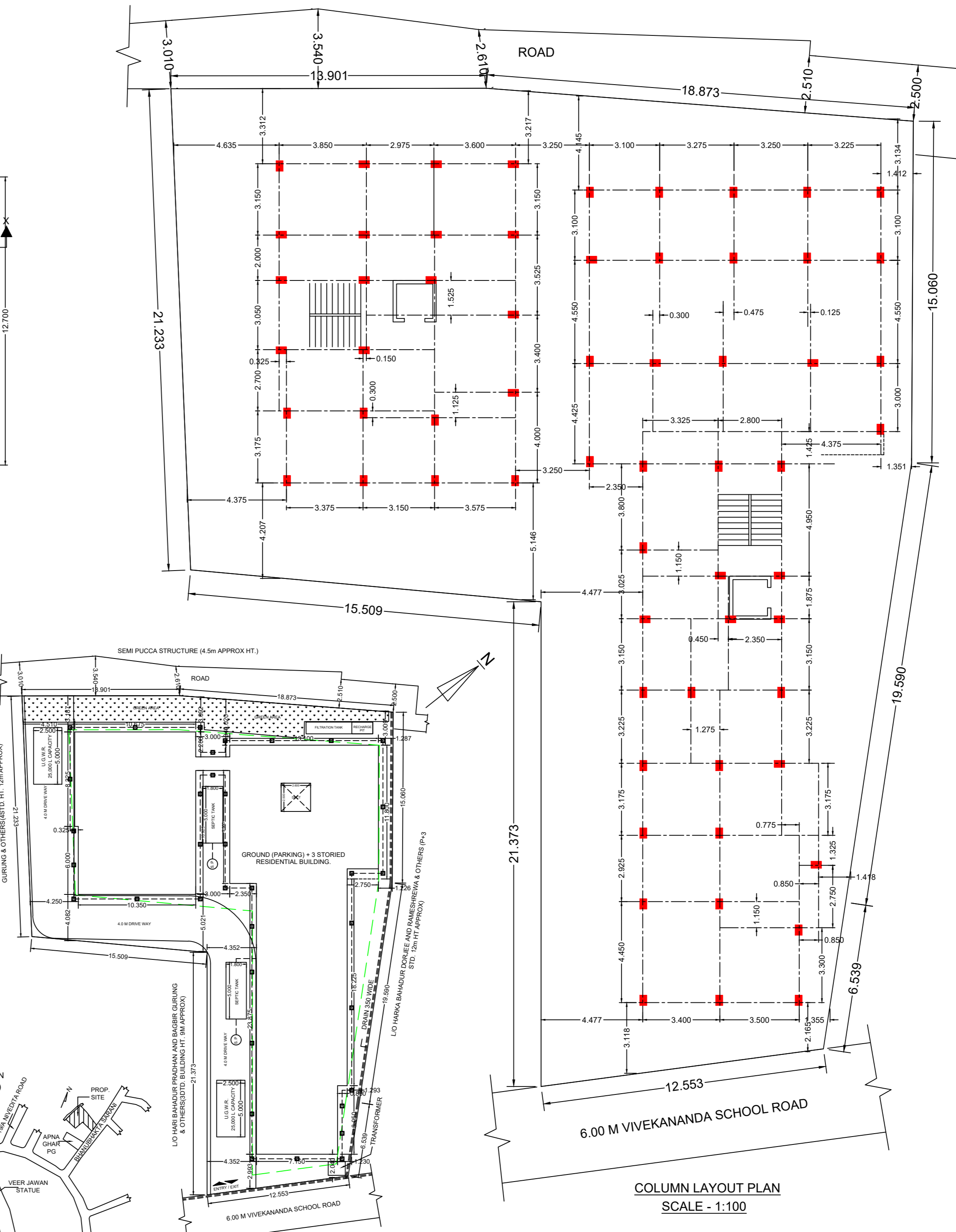
GROUND FLOOR PLAN  
SCALE - 1:100



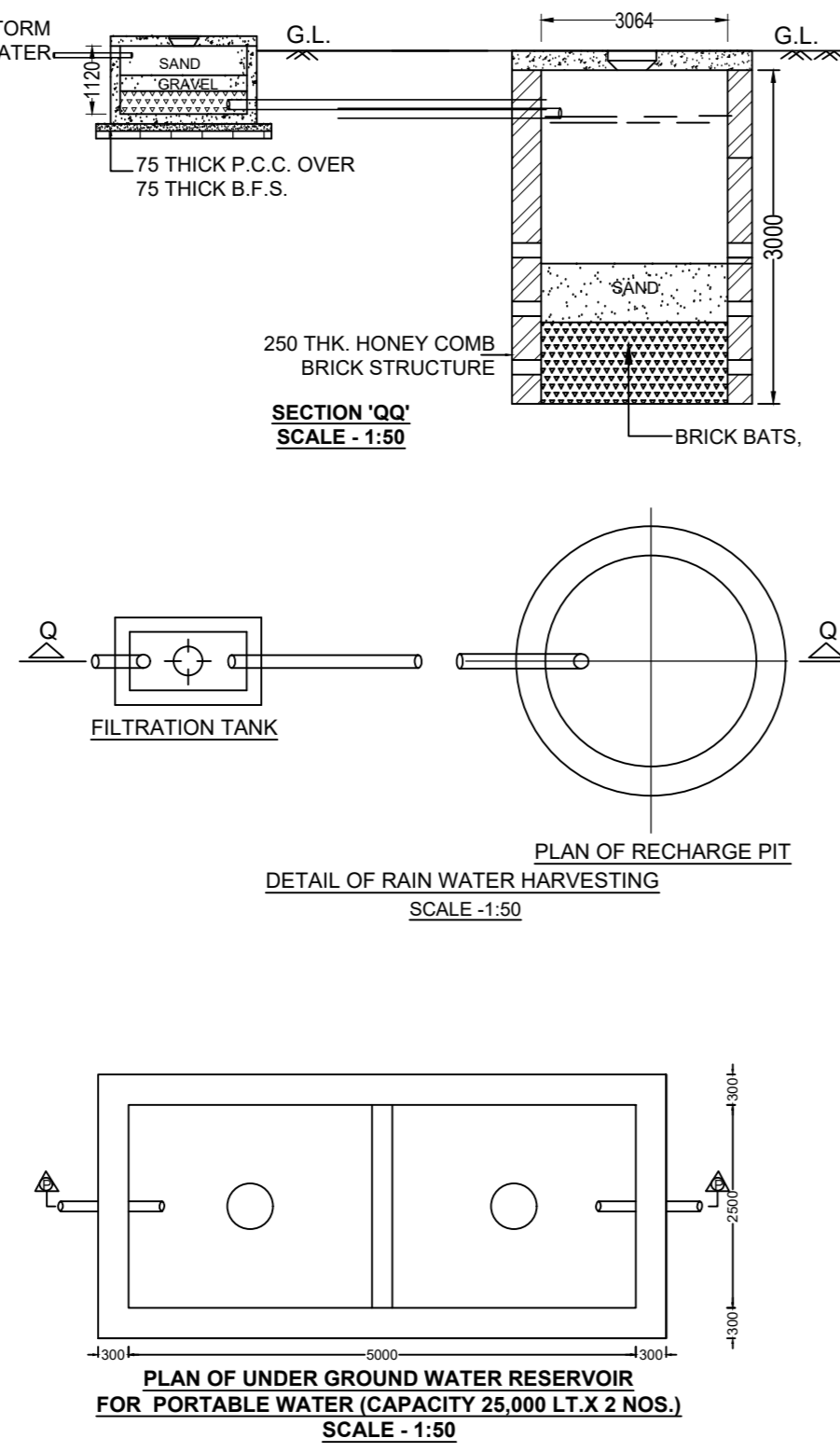
1ST, 2ND & 3RD FLOOR PLAN  
SCALE - 1:100  
FLOOR1, FLOOR2, FLOOR3 - TYPICAL



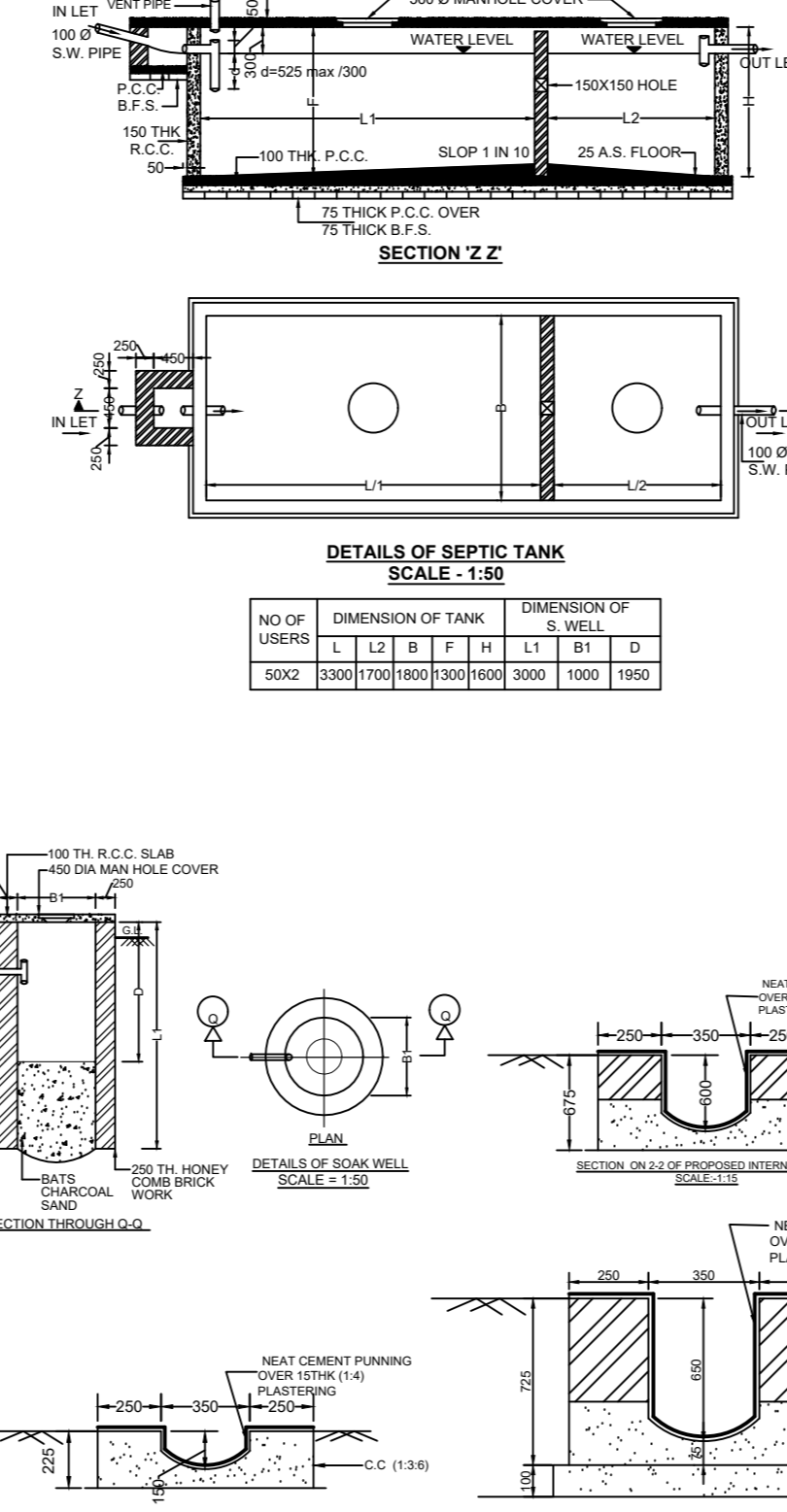
ROOF PLAN  
SCALE - 1:100



COLUMN LAYOUT PLAN  
SCALE - 1:100



PLAN OF RECHARGE PIT  
SCALE - 1:50



DETAILS OF SEPTIC TANK  
SCALE - 1:50

**PROJECT TITLE**

PROP. GROUND (PARKING) + 3 STORED RESIDENTIAL BUILDING OF (1) SRI. ARVIND KUMAR SINGH, (2) SMT. SUNITA DEVI @ SUNITA DEVI SINGH (3) MRS. NISHA SINGH AND (4) AADYA CONSTRUCTION REP. BY ITS PARTNER SRI. SUJIT KUMAR AGARWAL AT BHANUJHAKTA SARANI ROAD, GURUNG BUSTY, SILIGURI, P. O. & P. S. - PRADHAN NAGAR, DIST. DARJEELING, WARD NO. 3 (S.M.C.)

**SIGNATURE OF OWNERS**

I do hereby declare that the building proposed for construction shall be supervised by the L.B.A./I.B.S. signing the Building Plan Application or in his/her absence by any other L.B.A./I.B.S. of the appropriate category and as approved by the authority.

**SIGNATURE OF OWNERS**

**CERTIFICATE OF BUILDING PLAN**

I do hereby certify that the drawings and sections and other structural details of the proposed building on Plot No. (S.M.C.) Ward No. 3, under the jurisdiction of L.B.A./I.B.S., Darjeeling, including the existing structural drawings, have been prepared in conformity with all relevant provisions under the Building Regulation (Building Rules, 2007). This also certifies that all relevant 'No Objection' Certificates from the respective Authorities such as Fire and Emergency Services, Airport Authority, Pradhan Council (Block), Telephone Department, etc. have been obtained in conformity with the application for seeking approval of the plan to construct residential building for all members of the building on the said plot.

**CERTIFICATE OF STRUCTURAL STABILITY**

I do hereby certify that the drawings and sections and other structural details of the proposed building on Plot No. (S.M.C.) Ward No. 3, under the jurisdiction of L.B.A./I.B.S., Darjeeling, including the existing structural drawings, have been prepared in conformity with all relevant provisions under the Building Regulation (Building Rules, 2007). This also certifies that all relevant 'No Objection' Certificates from the respective Authorities such as Fire and Emergency Services, Airport Authority, Pradhan Council (Block), Telephone Department, etc. have been obtained in conformity with the application for seeking approval of the plan to construct residential building for all members of the building on the said plot.

**CONTRACT**

**BHADRA ARCHITECTS & ENGINEERS**  
401, BIDHAN ROAD, SILIGURI

DATE : 31.08.2022 SHEET NO. 1 OF 1